



**THE CORPORATION OF THE TOWNSHIP OF CLEARVIEW**  
**BY-LAW NUMBER 2023-XX**

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**(Tribute (Creemore) Limited)**  
**Being a By-law to amend Zoning By-law 06-54,**  
**as amended, of the Corporation of the Township of Clearview**

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Being a By-law to regulate the use of land and the character, location and use of buildings and structures on Part of Lots 8 & 9, Concession 4, (Geographic Township of Nottawasaga), within the lands identified on Plan 51M-1163 in the Former Village of Creemore now in the Township of Clearview.

**WHEREAS** By-law No. 06-54 is the Comprehensive Zoning By-law of the Township of Clearview; and

**WHEREAS** the Council of the Corporation of the Township of Clearview, of which the former Village of Creemore is part by virtue of the County of Simcoe Act, wishes to amend By-law 06-54 as amended; and

**WHEREAS** authority is granted under Section 34 of the Planning Act, R.S.O. 1990 c. P. 13, as amended to enact Zoning By-laws; and

**WHEREAS** the amendment is in conformity with the Township of Clearview's Official Plan; and

**AND WHEREAS** the Council of the Corporation of the Township of Clearview deems it appropriate to repeal portions of Zoning By-law 07-\_\_\_\_ that was approved by the Ontario Municipal Board in 2008 by decision PL060901.

**NOW THEREFORE** the council of the Corporation of the Township of Clearview enacts as follows:

1. That Schedule 'B16-A-Creemore' of By-law 06-54, as amended, is hereby further amended by changing the zoning on lands identified on Plan 51M-1163 (Geographic Township of Nottawasaga) from the Development Area (DA) Zone to the Residential Multiple Low Density Exception WW - Holding 7 (RS3-WW(H7)) Zone, Residential Multiple Low Density Exception XX - Holding 7 (RS3-XX(H7)) Zone, Residential Multiple Low Density Exception YY - Holding 7

(RS3-YY(H7)) Zone, Residential Multiple Low Density Exception ZZ - Holding 7 (RS3-ZZ(H7)) Zone, Residential Multiple Medium Density Exception XX - Holding 7 (RS5-XX(H7)) Zone, Residential Multiple Medium Density Exception YY - Holding 7 (RS5-YY(H7)) Zone, Recreational Lands (REC) Zone, the Recreational Lands Exception 4 (REC-4) Zone and the Development Area (DA) zone as shown on Schedule 'A' which is attached hereto and forms part of this By-law.

2. That Section 3.11.4 of By-law 06-54 entitled Residential Multiple Low Density Zone Exceptions, is hereby amended by the addition of a subparagraph RS3-WW(H7) as follows:

**“RS3-WW(H7)”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

**Additional or Altered Provisions:**

- There shall be a maximum of 20 lots, each developable with one single detached dwelling unit in the RS3-WW Zone,
- The minimum lot area shall be 480m<sup>2</sup>,
- The minimum lot frontage shall be 11.6m,
- The minimum interior side yard shall be 1.2m on one side and 0.6m on the other side,
- The maximum lot coverage shall be 60%,
- The maximum height of principal buildings and structures shall be 13m or 3 storeys,
- The minimum driveway setback from exterior side lot lines shall be 8.2m,
- The minimum driveway setback from interior lot lines shall be 0.6m,
- The maximum driveway width shall be 60% of the lot frontage,
- The maximum parking area coverage shall be 60% of the front yard,
- The maximum projection for architectural elements (e.g., cornices, sills, cantilevered window bays, gutters) shall be 0.6m into all yards,
- The minimum setback for steps to a porch or deck shall be 1.5m from the front and exterior lot lines,
- The maximum projection for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 1.8m into the front and rear yards,
- The minimum setback for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 0.6m from the interior side lot line,

- The minimum setback for roof eaves and balconies higher than 2.0 m above finished grade shall be 0.3m from all lot lines.

3. That Section 3.11.4 of By-law 06-54 entitled Residential Multiple Low Density Zone Exceptions, is hereby amended by the addition of a subparagraph RS3-XX(H7) as follows:

**“RS3-XX(H7)”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

Additional or Altered Provisions:

- There shall be a maximum of 121 lots, each developable with one single detached dwelling unit in the RS3-XX Zone,
- The minimum lot area shall be 250m<sup>2</sup>,
- The minimum lot frontage shall be 9.1m,
- The minimum interior side yard shall be 1.2m on one side and 0.6m on the other side,
- The maximum lot coverage shall be 60%,
- The maximum height of principal buildings and structures shall be 13m or 3 storeys,
- The minimum driveway setback from exterior side lot lines shall be 7.0m,
- The minimum driveway setback from interior lot lines shall be 0.6m,
- The maximum driveway width shall be 60% of the lot frontage,
- The maximum parking area coverage shall be 60% of the front yard,
- The maximum projection for architectural elements (e.g., cornices, sills, cantilevered window bays, gutters) shall be 0.6m into all yards,
- The minimum setback for steps to a porch or deck shall be 1.5m from the front and exterior lot lines,
- The maximum projection for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 1.8m into the front and rear yards,
- The minimum setback for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 0.6m from the interior side lot line,
- The minimum setback for roof eaves and balconies higher than 2.0 m above finished grade shall be 0.3m from all lot lines.

4. That Section 3.1.1.4 of By-law 06-54 entitled Residential Multiple Low Density Zone Exceptions, is hereby amended by the addition of a subparagraph RS3-YY(H7) as follows:
- “RS3-YY(H7)”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

Additional Permitted Uses:

- Pumping Station in the general location as shown on Schedule ‘A’.

Additional or Altered Provisions:

- There shall be a maximum of 85 lots, each developable with one single detached dwelling unit in the RS3-YY Zone,
- There shall be a maximum of twelve (12) 9.1m wide lots fronting onto Street ‘A’,
- The minimum lot area shall be 250m<sup>2</sup>,
- The minimum lot frontage shall be 9.1m,
- The minimum interior side yard shall be 1.2m on one side and 0.6m on the other side,
- The maximum lot coverage shall be 60%,
- The maximum height of principal buildings and structures shall be 13m or 3 storeys,
- The minimum driveway setback from exterior side lot lines shall be 7.0m,
- The minimum driveway setback from interior lot lines shall be 0.6m,
- The maximum driveway width shall be 60% of the lot frontage,
- The maximum parking area coverage shall be 60% of the front yard,
- The maximum projection for architectural elements (e.g., cornices, sills, cantilevered window bays, gutters) shall be 0.6m into all yards,
- The minimum setback for steps to a porch or deck shall be 1.5m from the front and exterior lot lines,
- The maximum projection for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 1.8m into the front and rear yards,
- The minimum setback for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 0.6m from the interior side lot line,
- The minimum setback for roof eaves and balconies higher than 2.0 m above finished grade shall be 0.3m from all lot lines.

5. That Section 3.1.1.4 of By-law 06-54 entitled Residential Multiple Low Density Zone Exceptions, is hereby amended by the addition of a subparagraph RS3-ZZ(H7) as follows:

**“RS3-ZZ(H7)”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

Additional or Altered Provisions:

- There shall be a maximum of 155 lots, each developable with one single detached dwelling unit in the RS3-ZZ Zone,
- The minimum lot area shall be 250m<sup>2</sup>,
- The minimum lot frontage shall be 9.1m,
- The minimum interior side yard shall be 1.2m on one side and 0.6m on the other side,
- The maximum lot coverage shall be 60%,
- The maximum height of principal buildings and structures shall be 13m or 3 storeys,
- The minimum driveway setback from exterior side lot lines shall be 7.0m,
- The minimum driveway setback from interior lot lines shall be 0.6m,
- The maximum driveway width shall be 60% of the lot frontage,
- The maximum parking area coverage shall be 60% of the front yard,
- The maximum projection for architectural elements (e.g., cornices, sills, cantilevered window bays, gutters) shall be 0.6m into all yards,
- The minimum setback for steps to a porch or deck shall be 1.5m from the front and exterior lot lines,
- The maximum projection for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 1.8m into the front and rear yards,
- The minimum setback for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 0.6m from the interior side lot line,
- The minimum setback for roof eaves and balconies higher than 2.0 m above finished grade shall be 0.3m from all lot lines.

6. That Section 3.13.3 of By-law 06-54 entitled Residential Multiple Medium Density Zone Exceptions, is hereby amended by the addition of a subparagraph RS5-YY(H7) as follows:

**“RS5-YY(H7)”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

Additional or Altered Provisions:

- There shall be a maximum of 68 townhouse units in the RS5-YY Zone,
- The minimum front yard setback measured from the condominium roadway shall be 4.5m to the front main wall and 6.0m to the garage,
- The minimum interior side yard shall be 1.2m on one side and 0m along the shared wall,
- The minimum exterior side yard where the condominium roadway intersects with Street A shall be 4.0m,
- The maximum lot coverage shall be 60%, for each parcel of tied land (POTL),
- The maximum height of principal buildings and structures shall be 13m or 3 storeys,
- The maximum driveway width shall be 60% of the lot frontage,
- The maximum parking area coverage shall be 60% of the front yard,
- The maximum projection for architectural elements (e.g., cornices, sills, cantilevered window bays, gutters) shall be 0.6m into all yards,
- The minimum setback for steps to a porch or deck shall be 1.5m from the front and exterior lot lines,
- The maximum projection for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 1.8m into the front and rear yards,
- The minimum setback for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 0.6m from the interior side lot line,
- The minimum setback for roof eaves and balconies higher than 2.0 m above finished grade shall be 0.3m from all lot lines.

7. That Section 3.13.3 of By-law 06-54 entitled Residential Multiple Medium Density Zone Exceptions, is hereby amended by the addition of a subparagraph RS5-XX(H7) as follows:

**“RS5-XX(H7)”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

**Additional or Altered Provisions:**

- There shall be a maximum of 87 units, each developable as one single detached dwelling or one townhouse dwelling unit in the RS5-XX Zone,
- The minimum lot area shall be 150m<sup>2</sup>,

- The minimum front yard setback shall be 4.5m to the front main wall and 6.0m to the garage,
- The minimum interior side yard shall be 1.2m on one side and 0m along the shared wall if townhouses are constructed,
- The minimum exterior side yard shall be 4.0m,
- The maximum lot coverage shall be 60%,
- The maximum height of principal buildings and structures shall be 13m or 3 storeys,
- The maximum driveway width shall be 60% of the lot frontage,
- The maximum parking area coverage shall be 60% of the front yard,
- The maximum projection for architectural elements (e.g., cornices, sills, cantilevered window bays, gutters) shall be 0.6m into all yards,
- The minimum setback for steps to a porch or deck shall be 1.5m from the front and exterior lot lines,
- The maximum projection for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 1.8m into the front and rear yards,
- The minimum setback for porches and decks having a height less than 2.0m above the lowest finished grade (at all points around the perimeter of the platform) shall be 0.6m from the interior side lot line,
- The minimum setback for roof eaves and balconies higher than 2.0 m above finished grade shall be 0.3m from all lot lines.

8. That Section 3.20.3 of By-law 06-54 entitled Recreation Lands Zone Exceptions, is hereby amended by the addition of a subparagraph REC-4 as follows:

**“REC-4”**

Part of Lots 8 and 9, Concession 4, Formerly Creemore

Additional Permitted Uses:

- Walking Trails,
- Drainage Channel,
- Stormwater Management facilities.

9. That all other provisions of By-law No. 06-54, as amended, which are not inconsistent with the provisions of this by-law continue to apply.

10. This By-law shall come into force on the day of the passage by Council subject to the provisions of the Planning Act.

**BY-LAW READ, A FIRST, A SECOND, AND THIRD TIME AND FINALLY PASSED ON THIS \_\_\_\_\_**

**DAY OF \_\_\_\_\_, 2023.**

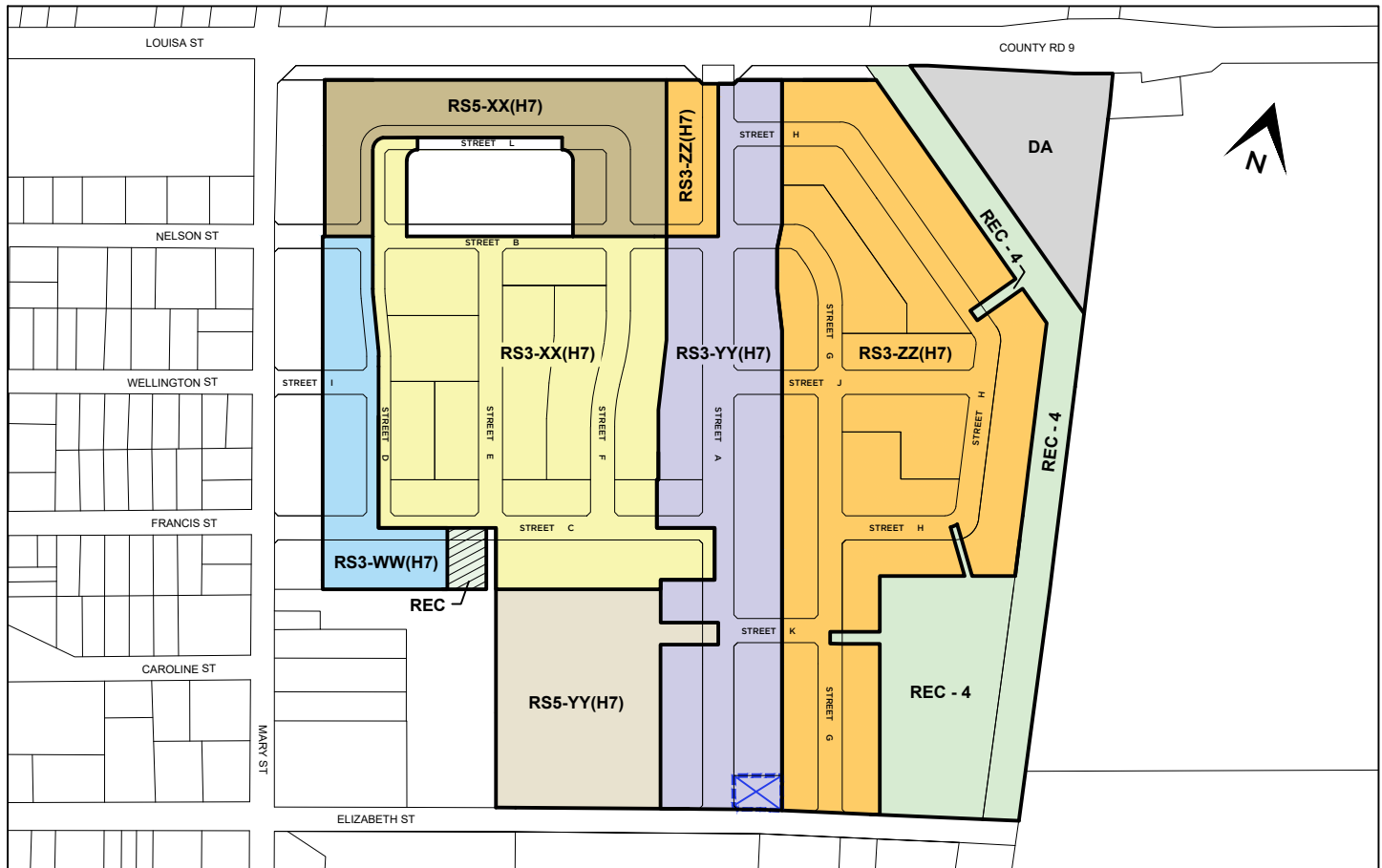
\_\_\_\_\_  
Doug Measures, Mayor








\_\_\_\_\_  
Sasha Helmkey, Clerk



SCHEDULE 'A' TO Z.B.A. NO. \_\_\_\_\_  
 THE CORPORATION OF THE TOWNSHIP OF CLEARVIEW  
 ZONING BY-LAW 06-54 - SCHEDULE B-16A

DRAFT



	RS3-WW(H7) ZONE LOT FRONTAGES: 11.6 M OR GREATER	MAXIMUM 20 S.F. RESIDENTIAL LOTS WITH ZONING EXCEPTIONS.
	RS3-XX(H7) ZONE LOT FRONTAGES: 9.1 M OR GREATER	MAXIMUM 121 S. F. RESIDENTIAL LOTS WITH ZONING EXCEPTIONS.
	RS3-YY(H7) ZONE LOT FRONTAGES: 9.1 M OR GREATER	MAXIMUM OF 85 S. F. RESIDENTIAL LOTS WITH ZONING EXCEPTIONS INCLUDING A MAXIMUM OF TWELVE (12) 9.1 M LOTS FACING STREET 'A'.
	RS3-ZZ(H7) ZONE LOT FRONTAGES: 9.1 M OR GREATER	MAXIMUM 155 S.F. RESIDENTIAL LOTS WITH ZONING EXCEPTIONS.
	RS5-XX(H7) ZONE LOT FRONTAGES: 6.1 M OR GREATER FOR STREET TOWNHOMES AND 9.1 M OR GREATER FOR S.F. RESIDENTIAL	MAXIMUM OF 60 UNITS WITH ZONING EXCEPTIONS.
	RS5-YY(H7) ZONE LOT FRONTAGES: 8.5 M FOR CONDOMINIUM TOWNHOUSES	MAXIMUM OF 68 TOWNHOUSE UNITS WITH ZONING EXCEPTIONS.
	DA ZONE	MAXIMUM OF 27 UNITS WITH ZONING EXCEPTIONS.
	POTENTIAL TEMPORARY PUMPING STATION	POTENTIAL TEMPORARY PUMPING STATION.