

## **By-law Number 23-03**

### **The Corporation of the Township of Clearview**

**Being a By-law to regulate the use of land and the character, location and use of buildings and structures on lands municipally known as 6934 & 7044 Highway 26, Clearview, and legally described as Nottawasaga con 1 Pt lot 25; RP 51R41137 parts 2 3 Pt; Parts 4 to 6 RP 51R41138; parts 3 to 5 Pt parts 1 2 & con 1 e Pt lot 25, Clearview.**

(Zoning By-law Amendment – 6934 & 7044 Highway 26, Clearview)

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**Whereas** pursuant to Section 34 of the Planning Act R.S.O., 1990, c.P.13, as amended, Council of the Corporation of the Township of Clearview has passed By-law 06-54 being the comprehensive Zoning By-law for the Township of Clearview;

**And Whereas** pursuant to Section 34(17) of the Planning Act, R.S.O., 1990, c. P.13, as amended, Council determines that no further notice is required in respect of the proposed By-law;

**And Whereas** the amendment is in conformity with the Township of Clearview Official Plan;

**And Whereas** Council deems it desirable and necessary to amend By-law 06-54;

**Now Therefore** Council of the Corporation of the Township of Clearview hereby enacts as follows:

1. That Schedule 'B6' of Zoning By-law 06-54 is hereby amended by changing the zoning on the lands located at 6934 & 7044 Highway 26, Clearview, from 'Development Area' (DA) to 'Large Format Commercial' (C4) with an Exception (-3) and two holding provisions (H30 & H31) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. That Section 3.25.3 'Large Format Commercial Exceptions' be amended by the addition of the following Large Format Commercial Exception:

"C4-3

Altered or Additional Provision:

- Permit 'Medical Clinic' as additional permitted use.
- Remove 'Building Supply Outlet' & 'Banquet Halls' as permitted uses.
- Reduce the minimum number of required loading spaces for Building No. 1 (i.e., Retail Grocery Store) from four (4) loading spaces to one (1) loading space.
- Reduce the minimum required exterior side yard setback from 15 m to 9 m.

- Remove the maximum front yard setback requirement of 5 m from the subject lands.
- Include a minimum required height requirement of 5.5 m for all commercial buildings.”

### 3. Holding Symbol 30 (H30)

That use of the lands, buildings or structure shall not be permitted until such time as Holding Symbol (H30) is removed.

The Hold (H30) Symbol shall not be removed until the following requirements have been met:

- a) That sufficient municipal servicing capacity and allocation required to service the permitted uses be confirmed in a manner to the satisfaction of the Township.
- b) That a site plan agreement has been entered into with the municipality and registered on title to the land for the development of the site.

At such time as the Holding Symbol (H30) is removed, the following uses shall be permitted on the lands:

- Art gallery
- Financial service establishment
- Fitness centre
- Garden centre
- Government, business and professional offices
- Personal service shop
- Place of entertainment
- Retail store
- Wholesale retail outlet
- Medical Clinic

### 4. Holding Symbol 31 (H31)

That use of the lands, buildings or structures shall not be permitted for uses except those listed as being permitted at such time as the H30 is removed, provided the holding provision (H30) has been removed, until such time as Holding Symbol (H31) is removed.

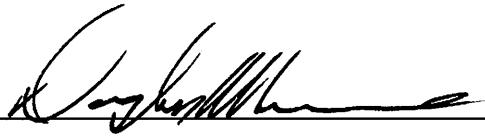
The Hold (H31) Symbol shall not be removed until the following requirements have been met:

- a) That sufficient municipal servicing capacity and allocation required to service the permitted uses be confirmed in a manner to the satisfaction of the Township.
- b) That a site plan agreement has been entered into with the municipality and registered on title to the land for the development of the site.

At such time as the Holding Symbol (H31) is removed, the following uses shall be permitted on the lands:

- Hotel
  - Restaurant including a drive-through restaurant
5. That all other provisions of By-law 06-54, as amended, which are not inconsistent with the provisions of this By-law, shall continue to apply when the By-law comes into effect.
6. This By-law shall come into force and take effect in accordance with the provisions of the Planning Act R.S.O, 1990 c. P.13.

**By-law Number 23-03 read a first, second and third time and finally passed this 30<sup>th</sup> day of January 2023.**

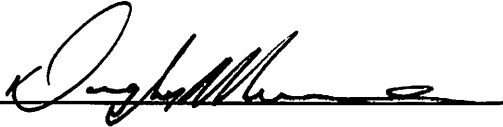
  
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Doug Measures, Mayor

  
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Barbara Kane, Director of Legislative Services/Municipal Clerk

# Township of Clearview Schedule '1'

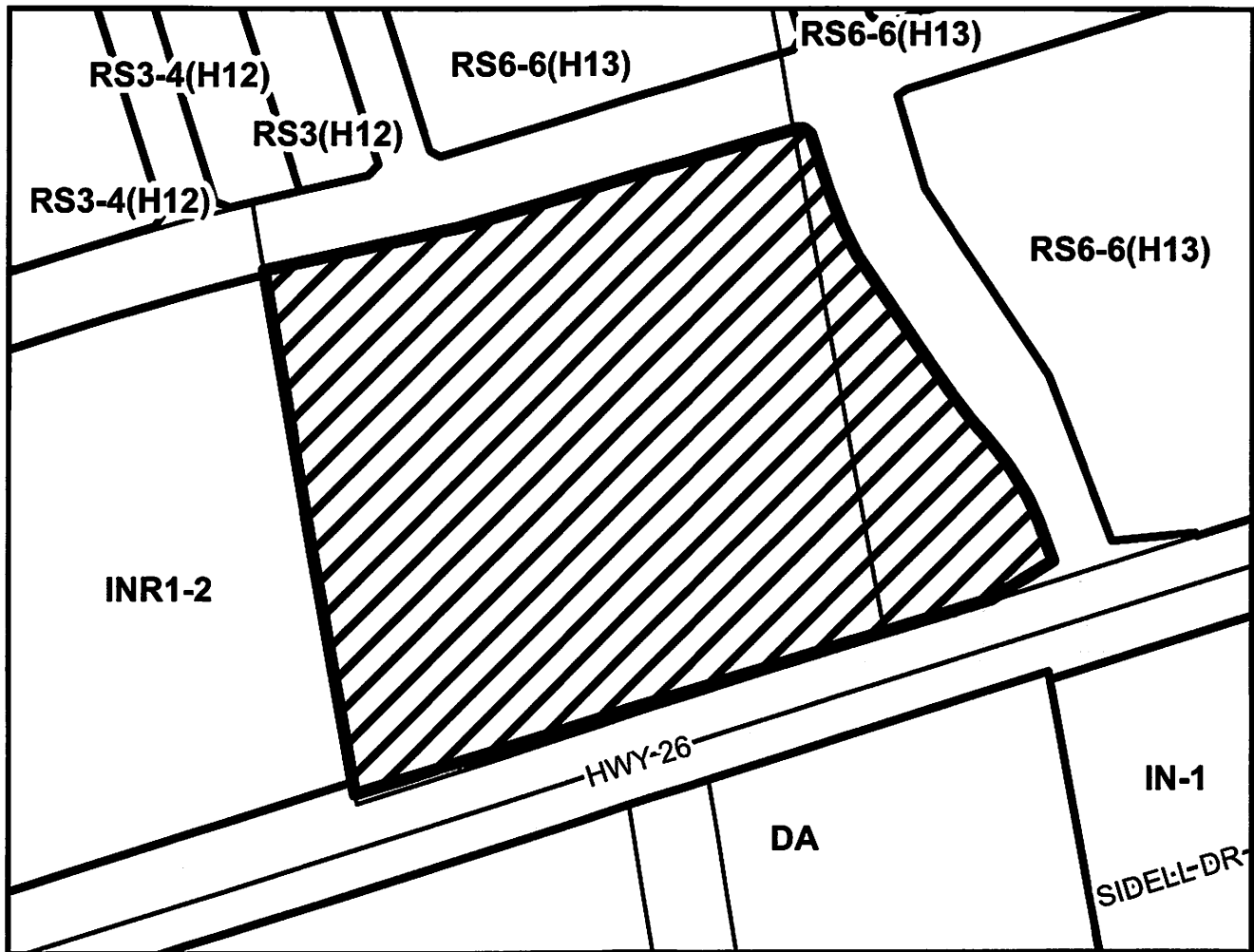
This is Schedule '1' to Zoning By-law No. 23-03,  
passed this 30 day of January, 2023.



Douglas Measures,  
Mayor



Barbara Kane,  
Director of Legislative Services/Municipal Clerk



Area to be rezoned from Development Area (DA) Zone to Large  
Format Commercial Exception Three Hold (C4-3(H30)(H31)) Zone.



1:2,500

0 15 30 60 90 120  
Metres

— Road Centerline

□ Assessment Parcels

□ Zone Boundary

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